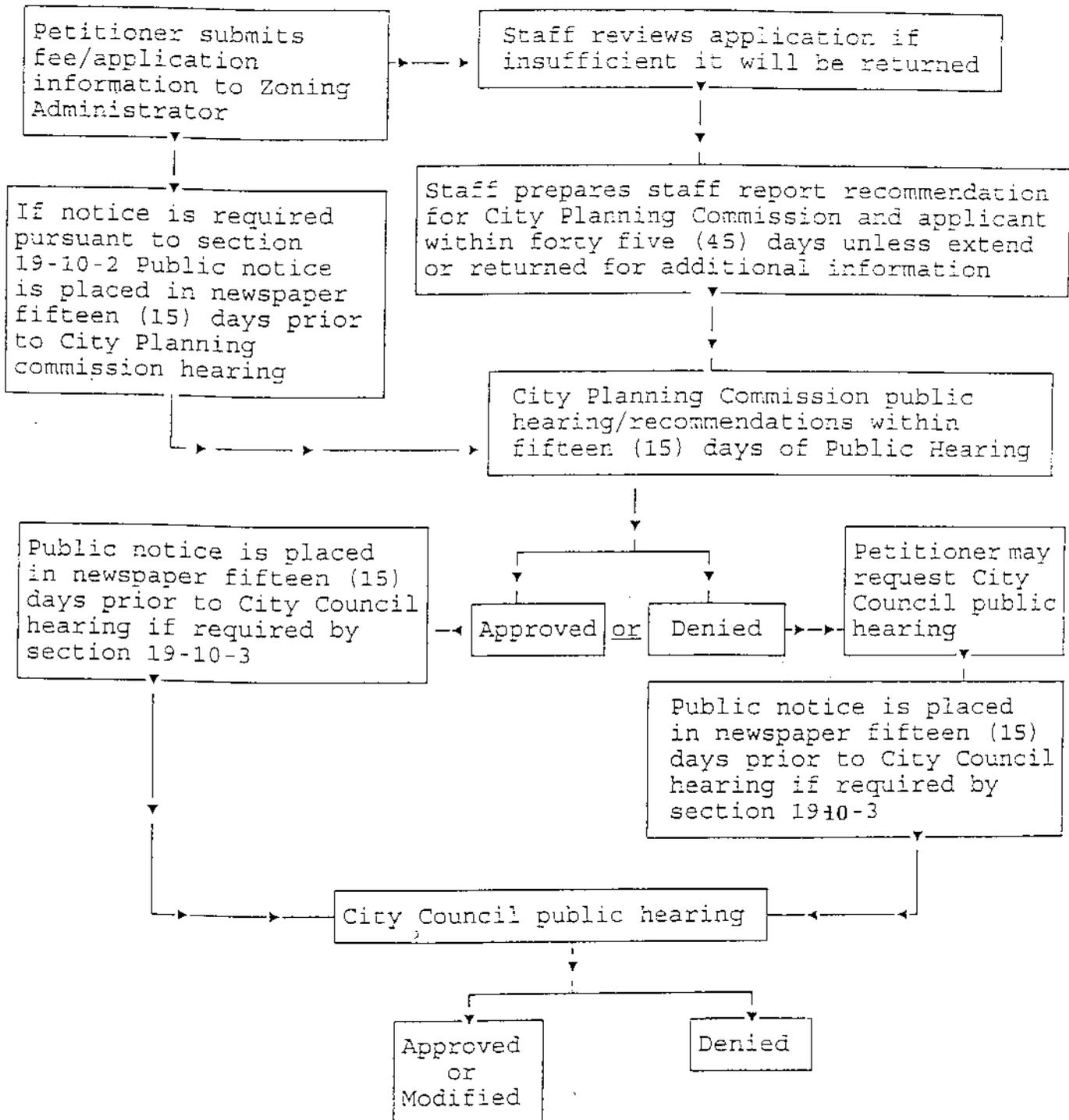


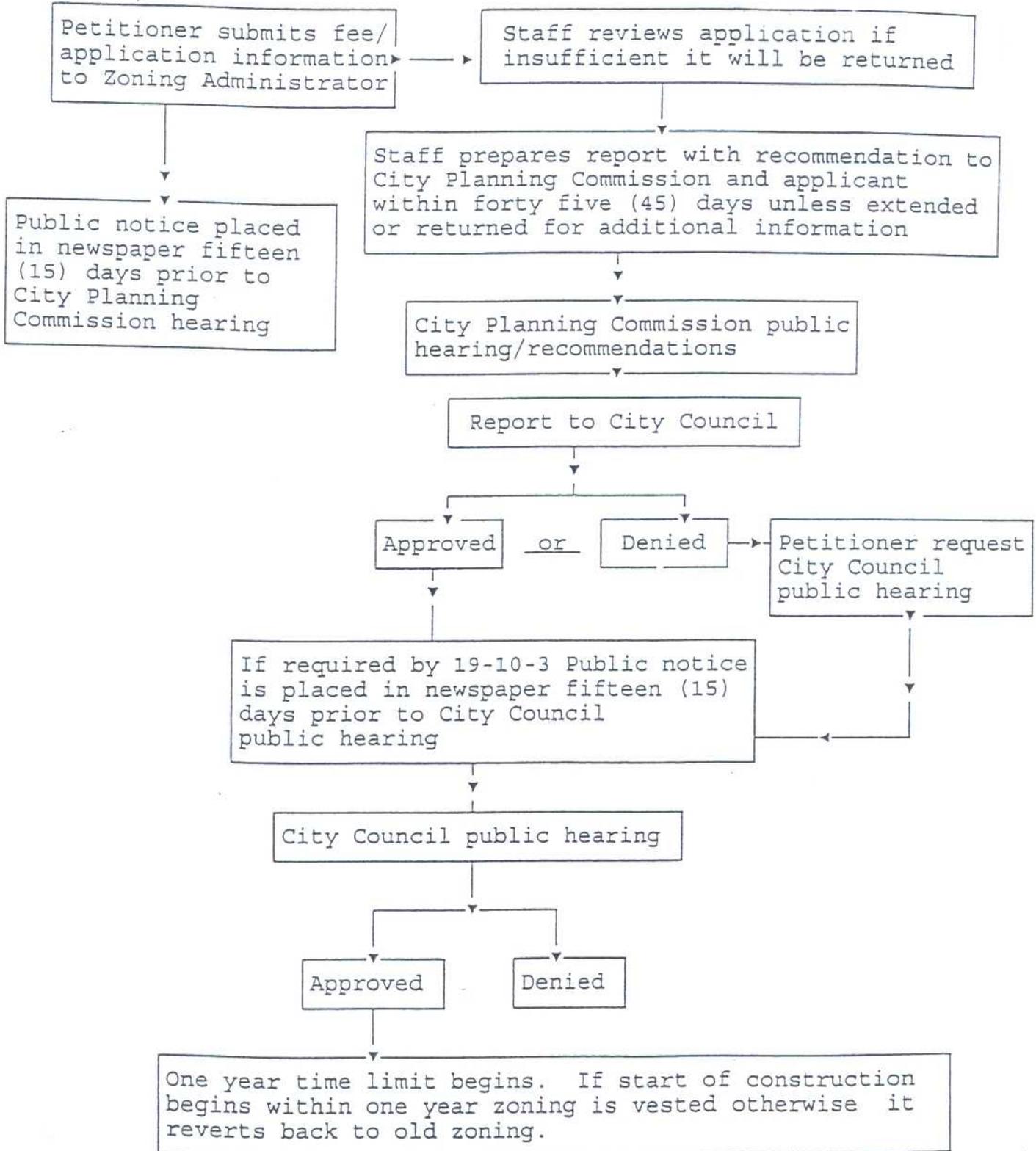
Zoning Ordinance Text Amendment Process

An amendment to the Zoning Ordinance will have an effect on all properties in the City. Depending upon the amendment, it may change the required lot sizes, set-back requirements, uses permitted, or other regulations in a particular zone. A petition for an amendment to the Ordinance may be filed in accordance with section 19-10-1 of this ordinance.



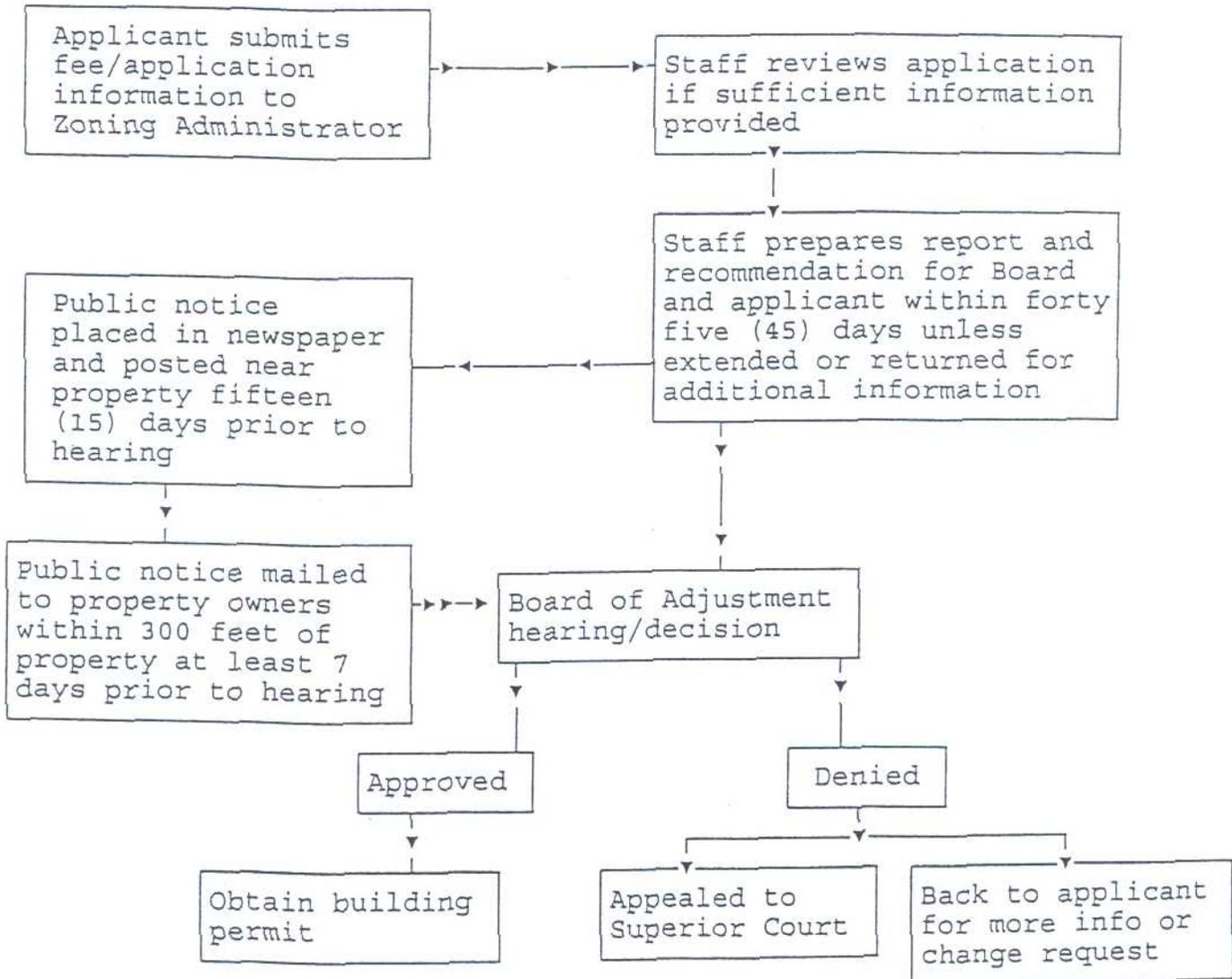
REZONING PROCESS

A rezoning of property which will change the use permitted on said subject property may be filed in accordance with section 19-10-1. The decision by the City Planning Commission and City Council to approve or deny a zoning change request shall be based upon the uses within that area or surrounding area and the compatibility of the potential change with the general plan adopted by the City.



VARIANCE PROCESS

Variations can only be dimensional in nature (setbacks, height, size, etc.). Variations cannot be granted for uses not permitted in the Zoning District in question. The burden of proof rests with the applicant, who must prove a hardship by showing that to adhere to the established law he or she would be deprived of any reasonable lawful use of the property. See section 19-10-3.



SITE PLAN REVIEW PROCESS

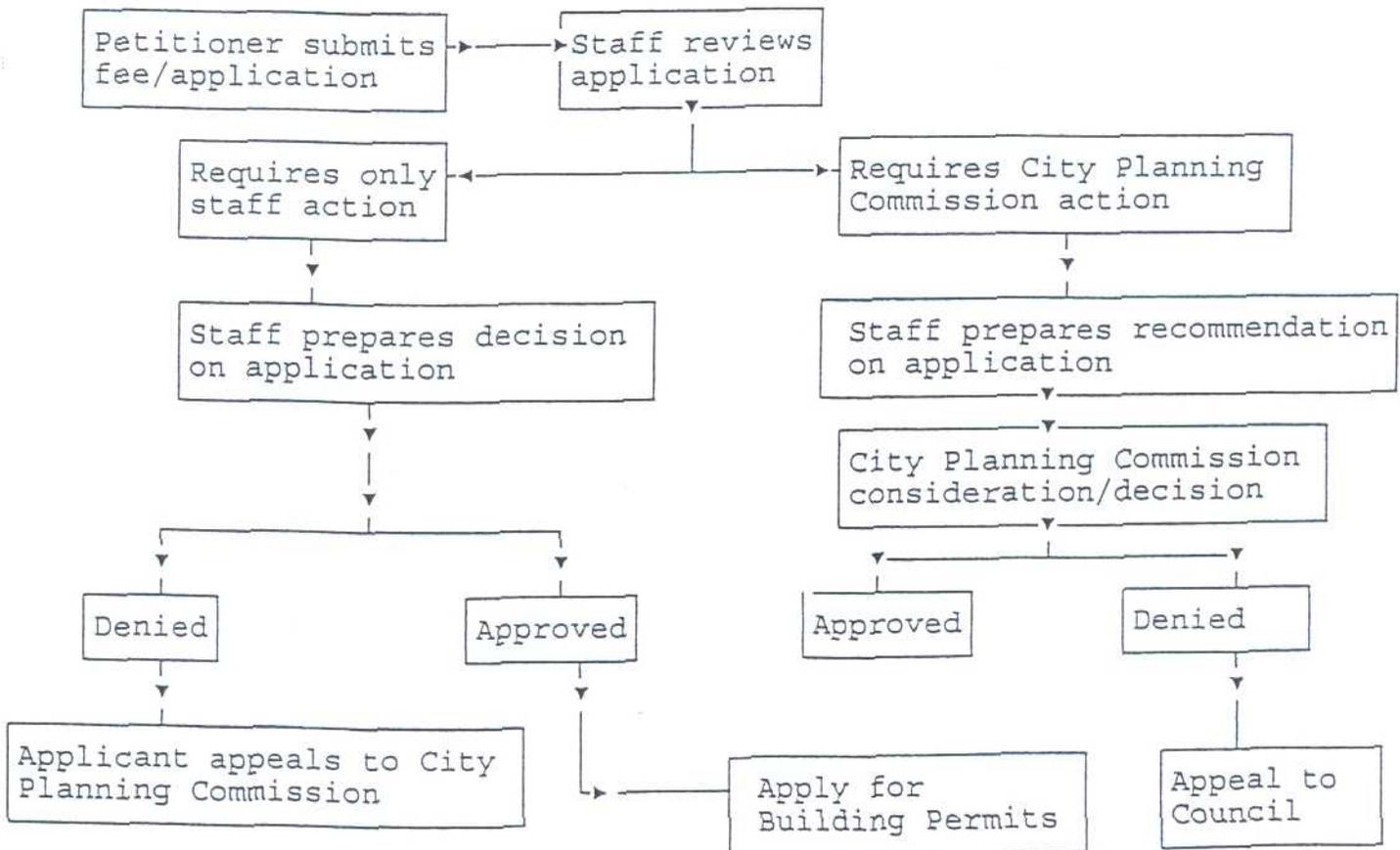
SITE PLANS

All proposals for development, with the exception of single family and two family dwelling units, must be approved through the site plan review process. The main purpose of this site plan review process is to coordinate a complete review of any proposed development with the utility companies and various City departments to ensure that development plans are in full compliance with development regulations and community policies before construction begins.

CONDITIONAL USES

Conditional uses are those uses which are allowed only if certain conditions are attached to the approval. All conditional uses are specifically listed within each category of the zoning ordinance. Conditional uses are processed in the same manner as site plans, but do require City Planning Commission approval.

SITE PLAN AND CONDITIONAL USE PROCESS



ADMINISTRATIVE APPEAL PROCESS

Any person who feels they have been aggrieved by a decision of the City's administrative personnel or the City Planning Commission may file an appeal with the Board of Adjustment. In its capacity as an appeals board, the Board of Adjustment acts as a quasi-judicial body. The Mayor and Council will serve as the Board of Adjustment if no other board is appointed.

