



City of Globe Community Development
 Building Safety Department
 150 N. Pine Street Globe, AZ 85501
 (928) 425-7146 ext. #219

Photovoltaic/Energy Storage Systems Permit Application

Permit applications expire after 180 days

Permit #. (City Use Only)

GENERAL SITE INFORMATION

Project Address (include Building number, if applicable)		Lot #	Suite, Space, Apartment # (if applicable)	
		(APN) Assessor's Parcel No.	County	
Subdivision or Retail Center Name			Business Name (if applicable)	
Property Owner Name			Telephone	
Property Owner Mailing Address		City	State	Zip

PERMIT TYPE (Check one) RESIDENTIAL COMMERCIAL

Zoning District (contact City staff if unknown)	Proposed Use(s)	Total Sq Footage of Project	Valuation(s) of Work, Construction or Demolition
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(Scope of work) (Photovoltaic Submittal Pre-Log must be completed and submitted with this application)

Photovoltaic/Energy Storage System System

Roof Mount Solar System: ____ Ground Mount Solar System: ____ Battery Energy Storage Systems(ESS): ____ Electrical Panel Upgrade: __Yes __No

CONTACT INFORMATION

For E-mail/Phone communications during the permitting and construction processes please provide the following information.

Contact Type	Name	Email Address	Phone Number
<input type="checkbox"/> Owner			
<input type="checkbox"/> Applicant			
<input type="checkbox"/> Design Professional/Architect			
<input type="checkbox"/> General Contractor			
<input type="checkbox"/> Business Owner			

APPLICANT or OWNER'S AUTHORIZED AGENT

Applicant / Contact Name (please print)		Applicant Business Name (if applicable)		Telephone
Mailing Address	City	State	Zip	Email

I hereby certify that I have read this application and state that the above information is correct and that I am the owner or the duly authorized agent of the owner. I understand that the development fee charges provided at this time are only a good faith estimate and that a request for a development fee offset or exemption must be made at the time of this application. I agree to comply with all Federal, City and State laws relating to building construction. I hereby authorize representatives of the City of Globe to enter upon the above-mentioned property for inspection purposes. An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of acceptance, unless such application has been pursued in good faith or a permit has been issued.

Signature _____ **Date** _____

**Owner/Builder Declaration of Exemption
State Statute 32-1121 A**

Owners/builder of property who improve such property or who build or improve structures or appurtenances on such property and who do the work themselves, with their own employees or with duly licensed contractors, if the structure, group of structures or appurtenances, including the improvements thereto, are intended for occupancy solely by the owner and are not intended for occupancy by members of the public as the owner's employees or business visitors and the structures or appurtenances are not intended for sale or rent for at least one (1) year after completion of this project.

Owners of property who are acting as Owner/Developers and who build structures or appurtenances to structures on their property for the purpose of sale or rent and who contract for such a project with a general contractor licensed pursuant to this chapter and owners of property who are acting as developers, who improve structures or appurtenances to structures on their property for the purpose of sale or rent and who contract for such a project with a general contractor or specialty contractors licensed pursuant to this chapter. To qualify for the exemption under this paragraph, the licensed contractors' names and license numbers shall be included in all sales documents.

ARS §32-1121A.14: Handyman exemption: This exemption does not apply to any construction project which requires a building permit and/or the total cost of materials and labor are \$1000 or more.

I am acting on behalf of the property owner solely for the purpose of obtaining the permit(s) **and** I have a notarized Power of Attorney from the property owner to act in this capacity.

A.R.S. 32-1169 B. States that: The filing of an application containing false or incorrect information concerning an applicant's contractor's license with the intent to avoid the licensing requirements of this chapter is unsworn falsification pursuant to section 13-2704.

Signature

Date

Licensed Contractor Declaration Permit Application Supplement

I will be using the following licensed contractor(s) on this project:

General Contractor

_____ ROC License # _____ Class _____

Globe Bus. License #: _____

Mechanical Contractor

_____ ROC License # _____ Class _____

Globe Bus. License #: _____

Electrical Contractor

_____ ROC License # _____ Class _____

Globe Bus. License #: _____

Plumbing Contractor

_____ ROC License # _____ Class _____

Globe Bus. License #: _____

Signature: _____ **Date:** _____

City of Globe Acknowledgement Form

PARCEL NO. _____

PERMIT NO. _____

X Site Plan Certification *Initial* _____

I certify that the dimensions, bearings, and locations of items shown on the site plan submitted are true and correct, and that all proposed improvements will be constructed as shown. I understand that failure to construct said improvements in accordance with the site plan submitted constitutes a violation that may result in action to bring said improvements into compliance.

X Inspecting, Notification and Access *Initial* _____

It is the duty of the permit holder or their agent to notify the building department when work is ready for inspection. It is the duty of the person requesting any inspection(s) required by code to provide access to and means for inspection of such work.

 Floodplain Use Permit *Initial* _____

I understand that, if a Floodplain Use Permit has been issued for this project, the project must comply with the required elevation and any other stipulations of that Permit. City of Globe Engineering approval of the Certificate of Elevation must be obtained before a final building inspection will be scheduled. Obtaining and/or complying with the Floodplain Use Permit does not constitute compliance with Building, Zoning, or any other applicable regulations.

X Installation Of Solar/Mechanical Units in/on Existing Buildings *Initial* _____

I will be responsible for insuring that adequate structural support exists, or will be provided, to support the additional load imposed by the solar/mechanical unit installation proposed. If structural problems and/or violations are discovered, I will ensure that the necessary corrections are made and the required permit(s) and/or inspections and approvals are obtained. If deemed necessary, an structural engineers report may be required.

 Temporary Construction Power Agreement *Initial* _____

I understand that electrical power is being approved for temporary construction purposes only. It is not intended to be used to occupy the building. If the building or any portion of the building should become occupied in violation of this agreement, The City of Globe maintains the right to have power disconnected. A final inspection must be performed and passed, and a Certificate of Occupancy issued before any building can be occupied and utility connections are no longer considered temporary. Approval of temporary construction power shall not be construed as a waiver of any other applicable requirements. I agree to indemnify and hold harmless the City of Globe and the utility company for all damages, whether direct or consequential, which may be caused by the connection, use or loss of electrical power pursuant to this Agreement. **Temporary Construction power shall not be granted for structures deemed Inhabitable, Manufactured Homes, Park Models, or any classification of Accessory Dwelling Units (ADU).**

X Covenants, Conditions and Restrictions/Homeowner's Association Approval *Initial* _____

It is the property owner's responsibility to determine if Covenants, Conditions and Restrictions (CC&R's) are attached to the property, or if Homeowner's Association approval is required to develop or improve the property. CC&R's and/or Homeowner's Association regulations may conflict with zoning regulations. The City of Globe enforces zoning and other applicable regulations. The City of Globe does not enforce CC&R's or Homeowner's Association requirements. Failure to comply with CC&R's and/or Homeowner's Association requirements is considered a civil matter between the parties involved.

I certify that I understand and agree to comply with the information contained in the sections checked and initialed above. I assume the duty of informing the owner, occupant, and any other persons with a legal interest in the property of the terms and conditions of this agreement.

Applicant-Owner/Contractor

Date

City of Globe Representative

Date

CITY OF GLOBE PHOTOVOLTAIC SYSTEM SUBMITTAL PRE-LOG

(For On & Off Grid Solar Systems and Energy Storage Systems)

Permit #: _____ Parcel #: _____

These are minimum submittal requirements. Additional documentation or engineered plans may be required if necessary. PV system design and installation must comply with the 2002 NEC or newer and manufacturer's requirements. Compliance with any requirements of the utility provider is the responsibility of the system designer and the installer.

Please check mark/indicate **Yes or No** boxes below and provide the appropriate information as indicated/needed for your submittal.

Two (2) Sets of Plans are Required for all PV Submittals to include the below items:

- Site plan showing roof or ground mounted system.
- Ground mounts must meet setbacks for detached accessory buildings.
- PV equipment layout (include modules, conduit trench, combiner/junction box, inverters, batteries, charge controller, generator, transfer switch, disconnects, meter, sub & service panels). This layout shall also indicate module setbacks/access walkways with measurements.
- 1- and 3-line electrical diagrams **with** required labeling noted.
- Array wiring diagram and layout.
- Cut sheet and listing for modules, combiner, inverter, ac, and dc disconnects.
- Manufacturer's install manual or manufacturer's detail or specifications on module attachment and module grounding, inverter mounting and clearances.
- Provide load calculations if main breaker is to be de-rated.

Battery Energy Storage Systems -ESS: Yes or No (if yes, provide the additional following information)

- Cut sheet for batteries. **(Battery conductors must be NEC approved)**
- Cut sheet for battery storage container or racking if applicable.
- Cut sheet and listing for battery charge controller.

Roof mounted system: Yes or No (if yes, provide the additional following information)

- DC Ground Fault Protection Required
- Signed waiver for installation on an existing building. For new manufactured homes, the Office of Manufactured Housing requires the home's manufacturer be contacted to determine if and how modules may be installed. Provide manufacturer's approval.
- Roof framing information (mfg. trusses, rafter sizes & spacing). A stamped structural engineering report may be required.
- Weight of array with mounting system in psf and point loads (a stamped structural engineering report may be required due to excessive psf and/or point loads or if other unique circumstances deem it necessary), i.e., pre-existing non-permitted older homes, manufactured homes, etc.
- Approximate age of building and roofing type (asphalt shingle, clay tile, metal)
- Installation manual or engineered detail of module support attachment to roof framing members and method of sealing roof penetrations.

Ground mounted system: Yes or No (if yes, provide the additional following information)

- Weight of array in psf and point loads including mounting system.
- Detail of engineered or manufacturer's array support, framing members, foundation posts and footings. (Footings must meet frost depth requirement)
- Array height above grade noted on plans.
- Energized parts operating at 50 volts or more shall be guarded against accidental contact by approved enclosures.

Electric Service Panel Upgrade: Yes or No (additional permits fees apply for electric panel upgrades)

- APS/SRP Approval (may be required for relocation of equipment).
- Equipment location must be shown on site/building plans and approved if relocated.

CITY OF GLOBE BUILDING SAFETY DEPARTMENT

150 N. Pine Street Globe, AZ 85501 (928) 425--7146

SITE PLAN REQUIREMENTS

Please note that this document is intended for reference only, and this provided site plan diagram is an example only of what your site plan should resemble. Items listed on the example site plan may or may not always apply to your submitted site plan.

What is a site plan?

A site plan is your parcel drawn to scale (1" = 20' minimum) on an 8 ½ x 11 blank or graph paper that shows the following:

- North Arrow
- Parcel # and Address
- Street names
- Dimensioned lot lines
- Setback lines with dimensions to property lines
- Locations and dimensions of all existing and proposed structures (include fences) and distances between structures and lot lines
- Locations of all washes, ditches, creeks and drainages.
- All easements, driveways
- Septic systems and leach fields
- Locations of all existing and proposed utilities including:
 - Utility lines and underground piping
 - Water, electric, and gas meters
 - Well
 - Propane tank and distances to property lines and any structures

Parcel# _____

Address _____

Site Plan Sample

